

# MEETING AGENDA

District 1  
Matthew Wilson

District 2  
Raevan Howard  
*Alternate*

District 3  
Norman Crow

District 4  
Lee Busby

District 5  
Kip Tyner  
*Member*

District 6  
John Faile  
*Chairperson*

District 7  
Cassius Lanier  
*Vice Chairperson*

## Council Administration and Policy Committee Meeting Agenda

Tuesday, September 20, 2022 Daugherty Conference Room 4:00 p.m.

TOPIC	PRESENTER	SUPPORTING MATERIAL
<b>Approval of Minutes</b>		
<b>NEW BUSINESS</b>		
1. Ordinance authorizing Section 10-13(a)(6) of the Code of Tuscaloosa	<b>Scott Holmes</b> <b>Officer Branscome</b>	2-3
2. Resolution approving Downtown/Riverfront Overlay District permit for 300 21 <sup>st</sup> Avenue	<b>Zach Ponds</b> <b>Caitlin Giles</b>	4-32
3. Sidewalk Café ordinance discussion	<b>Ashley Crites</b>	
<b>ADJOURN</b>		

APPROVED AS TO FORM

\_\_\_\_\_  
Office of the City Attorney

Prepared By: JPW/rd

Requested: Admin Comte Date: 00/00/2022

Council Presentation on: 00/00/2022

Suspension of Rules: No

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AMENDING SECTION 10-13(a)(6)  
OF THE CODE OF TUSCALOOSA  
(A22-0969)

BE IT ORDAINED BY THE CITY COUNCIL OF TUSCALOOSA that Section 10-13(a)(6) of the Code of Tuscaloosa is hereby amended to read as follows:

**“Sec. 10-13. – Settlement of minor ordinance violations without trial.**

(a) *Schedule of fines.*

(6) *Parking violations:*

Any other parking violation prohibited by chapter 22 of the Code of Tuscaloosa or Code of Ala. 1975, title 32 not specifically listed in this subsection .....15.00

Handicapped parking..... 100.00

Off-street parking and permit offenses.....25.00

Offenses related to city hall parking.....25.00

Overnight parking violations.....50.00

Overtime parking.....18.00

Parking in a fire lane.....100.00

Parking in Front Yards.....**50.00**

Parking in front yard in historic district.....**100.00**

Parking prohibited in specified place generally.....**100.00**

Parking in private alleys or on private property.....50.00

Parking of heavy trucks and/or semitrailer trucks.....100.00”

Selling from parking facilities.....100.00”

FUNDING REQUIRED: ☐ Yes ☒ No

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\_\_\_\_\_  
\_\_\_\_\_  
By: \_\_\_\_\_

Chief Financial Officer

#### COUNCIL ACTION

Resolution \_\_\_\_\_  
Ordinance \_\_\_\_\_  
Introduced \_\_\_\_\_  
Passed \_\_\_\_\_  
2<sup>nd</sup> Reading \_\_\_\_\_  
Unanimous \_\_\_\_\_  
Failed \_\_\_\_\_  
Tabled \_\_\_\_\_  
Amended \_\_\_\_\_  
Comments: \_\_\_\_\_

APPROVED AS TO FORM

\_\_\_\_\_  
Office of the City Attorney

Prepared By: JPW III

Requested: Planning Comm Date: 08-15-2022

Presentation on: 09-XX-2022

Suspension of Rules: No

RESOLUTION

RESOLUTION APPROVING DOWNTOWN/RIVERFRONT  
OVERLAY DISTRICT PERMIT FOR 2117 JACK WARNER PARKWAY  
(A22-05903/DR0D-05-22)

WHEREAS, the Council adopted by Ordinance the Downtown Riverfront Overlay District on January 25, 2007; and,

WHEREAS, major construction defined as any exterior construction activity within a twelve (12) month period which costs more than \$15,000.00 requires approval by the Planning Commission and City Council; and,

WHEREAS, the applicant, Baywood Hotels has made application pursuant to §24-232 of the Code of Tuscaloosa to the Planning Division of Urban Development for a Downtown/Riverfront Overlay District Permit for major construction; and,

WHEREAS, the application meets the requirements of §24-232(2), was reviewed and recommended on July 28 2022 by the Administrative Review Committee, consisting of the Zoning Officer, the Fire Marshall, the Building Official and the City Engineer, and was considered and recommended by the Planning Commission on August 15, 2022 and is now due to be considered for approval by the City Council.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF TUSCALOOSA that the application submitted by, Baywood Hotels, Case # DROD-05-22, for a Downtown/Riverfront Overlay Permit for major construction for 2117 Jack Warner Parkway substantially conforms to the Downtown/Riverfront Overlay standards and guidelines set out in §24-230.

BE IT FURTHER RESOLVED BY THE CITY COUNCIL OF TUSCALOOSA that this approval is subject to the following conditions with any variation requiring amendment to the application and approval of the Council: Substantial Compliance with all specifications and representations for the Development made in the application and development plan submitted to the City Council, building in compliance with renderings, elevations, site plan and design development plans submitted to the Council, compliance with any added conditions approved by the Council, and compliance with all applicable requirements, terms and conditions of Chapter 24, Article XVII of the Code of Tuscaloosa entitled "Downtown/Riverfront Development (D/R) Overlay District".

FUNDING REQUIRED: ☐ Yes ☒ No

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By: \_\_\_\_\_  
Chief Financial Officer

#### COUNCIL ACTION

Resolution \_\_\_\_\_  
Ordinance \_\_\_\_\_  
Introduced \_\_\_\_\_  
Passed \_\_\_\_\_  
2<sup>nd</sup> Reading \_\_\_\_\_  
Unanimous \_\_\_\_\_  
Failed \_\_\_\_\_  
Tabled \_\_\_\_\_  
Amended \_\_\_\_\_  
Comments: \_\_\_\_\_

## PLANNING COMMISSION STAFF REPORT

August 15, 2022

### **DROD-05-22**

#### **GENERAL INFORMATION**

##### **Property Owner ( ) Petitioner ( x)**

Paul Willims – Baywood Hotels

##### **Location and Existing Zoning**

South of 2117 Jack Warner Parkway, north of 2104 and 2200 4th Street and west of 305 21st Avenue.  
(Zoned BC-DROD)

##### **Size and Existing Land Use**

2.25 acres total; vacant lot

##### **Nature of Project**

Construction of a new five-story hotel

##### **Description of Proposed Work**

The applicants propose to construct a new five (5) story hotel (six stories, including a basement level) that will contain 94 rooms. It will feature a fitness center, electric vehicle charging stations, a bike borrowing program, bar area, and a dining area for guests.

The site will contain 93 parking spaces, several retaining walls due to topography and an extension of the sidewalk along 21<sup>st</sup> Avenue.

The narrative states “The Element is a Lifestyle Brand with a focus on healthy eating, green building, and environmentally conscious living. Part of the way the brand delivers this to a guest is by providing a small kitchenette that allows guests to control their diet and meals while complementing the offering from the hotel in the breakfast area and the bar.”

The building is proposed to feature an all brick veneer façade, metal railings, and metal frame windows.

See project narrative, site plan, and elevations for further details.

PLANNING COMMISSION STAFF REPORT  
August 15, 2022



*Subject Property*

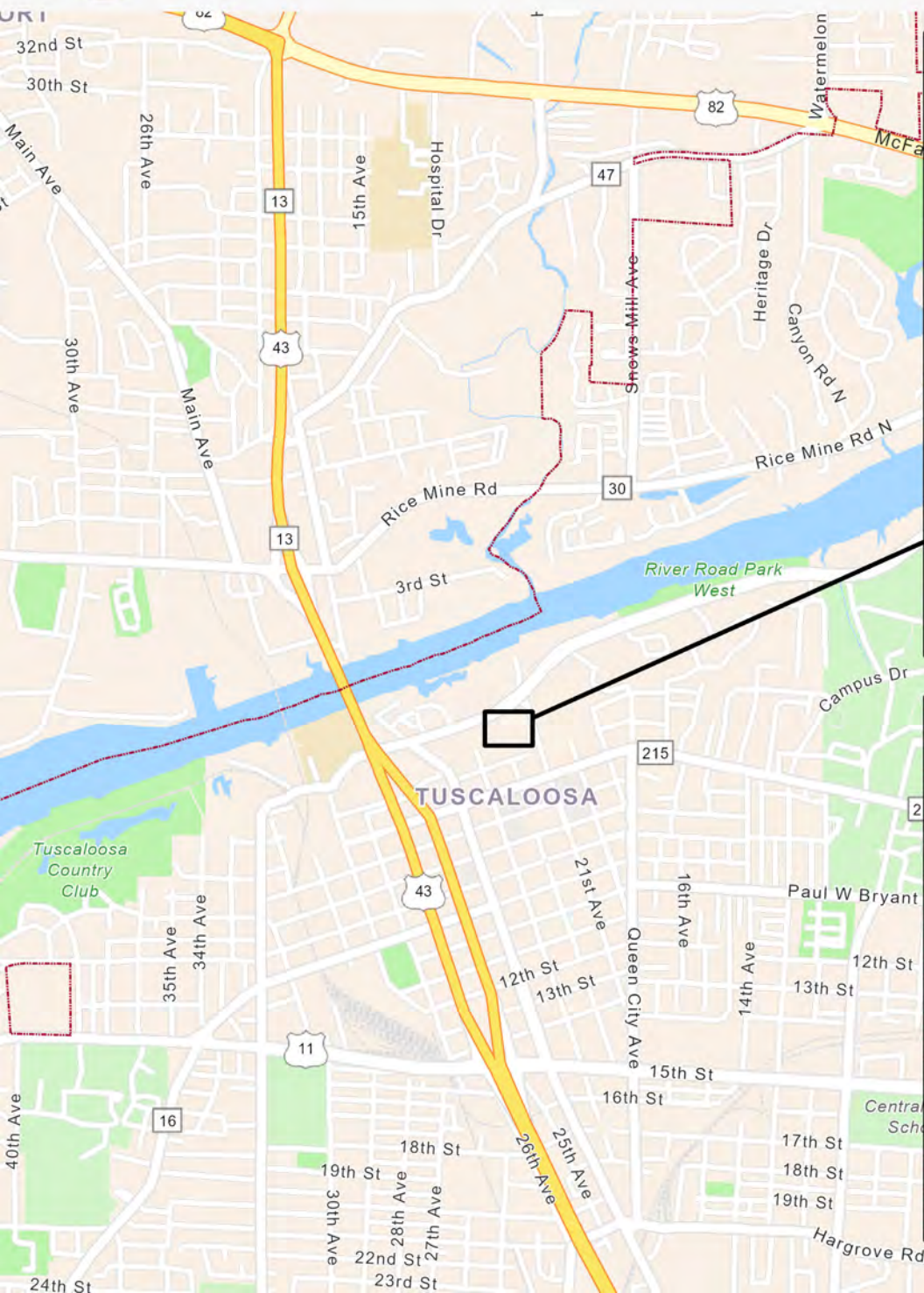
**Staff Comments**

Overall, the development proposal meets the intent of the Downtown Riverfront Overlay standards and guidelines in accordance with [Section 24-230\(b\)](#). Due to the large utility easements, location, and site topography, building placement within 10 feet of the eastern property line is not reasonable.



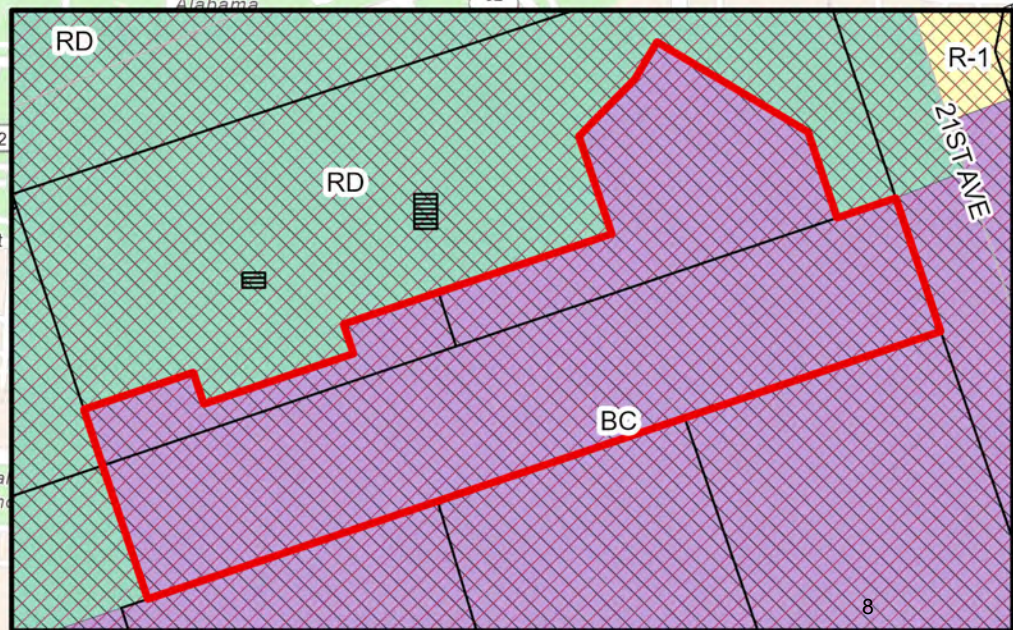


# Element Hotel



1 inch = 128 feet

0 100 200 300 400







# Element Hotel

1 inch = 60 feet  
0 50 100 150 200

N





July 21, 2022

**City of Tuscaloosa**

Planning Department

Attn: Blake Deason

2201 University Boulevard

Tuscaloosa, AL 35401

**RE: Proposed ELEMENT Hotel by Westin on 21<sup>st</sup> Avenue  
DROD Permit Application Project Narrative**

Project Name: ELEMENT Hotel by Westin; Baywood Hotels, Inc.

Project Address: 21<sup>st</sup> Avenue, Tuscaloosa, AL, 35401

Project Narrative:

**Project Overview**

Baywood Hotels, Inc. proposes the development of a unique hotel project in Downtown Tuscaloosa. A part of the Westin Portfolio, Element® is transforming the extended stay segment with bright, modern design, eco-conscious practices and an innovative guest experience that resonates with today's traveler. Element offers longer stay comfort with conscience and thoughtful signature amenities, from its complimentary healthy Rise breakfast and Relax evening reception, to 24/7 Motion Fitness centers, electric vehicle charging stations, and Element's Bikes to Borrow program. Spacious guest rooms featuring fully equipped kitchens and spa-inspired bathrooms create space for guests to live their lives. Element is a smarter, better place to stay.

**Location**

The project site is located along 21st Avenue near the intersection of Jack Warner Parkway. The property is bound by 21<sup>st</sup> Avenue to the east, and to the south by property owned by First Paramount, LLC, where a proposed multi-story mixed used development has received preliminary approval from the Planning and Zoning Commission (PZC). Also along the southern property line and a portion of the western property line is an Alabama Power substation and related buildings. To the northwest, Crimson Hospitality, LLC. just completed construction of a Comfort Inn and Suites. River Bluff Office Park is located on the northside of the property.

### **Enhancing the Riverfront District - Design**

The Owner and Architect have made it a priority to match the design of this new, upscale, hotel with the standards and guidelines outlined in Section 24-230 of the Tuscaloosa Municipal Code. The design will include 94 hotel rooms in a brick veneered, five-story building with a basement. The basement floor will house hotel operations and 5 guest rooms. The first floor will include a dining area, reception lobby, fitness center, guest laundry facility, and office space for hotel management. Floors 2 through 5 will house guest rooms. The design of the ELEMENT Hotel provides substantial conformity to the standards & guidelines outlined for the Downtown/Riverfront Overlay District, some of which are detailed below:

- I. Divide building wall facades into increments through separation or breaks in materials, window bays, separate entrances or entry treatments, or variations in roof lines
- II. Design galleries and balconies, when provided, as an integral part of the building's facade improvements.
- III. Building lighting fixtures shall be designed to direct lumens toward the inward boundaries of the property.
- IV. Provide lighting that illuminates facades, entrances, and signage to enhance the aesthetic appeal of the building.
- V. Design paving, lighting fixtures, fences/walls, curbs, benches and signs appropriate for their location, easily maintained and indicative of their function.

### **Interested Parties**

The land is currently owned by the estate of Robert Monfore, but purchase of it by Baymont Hotels, Inc. is contingent upon the approval of the DROD and Rezoning applications for the proposed project.

### **Proposed Application Process**

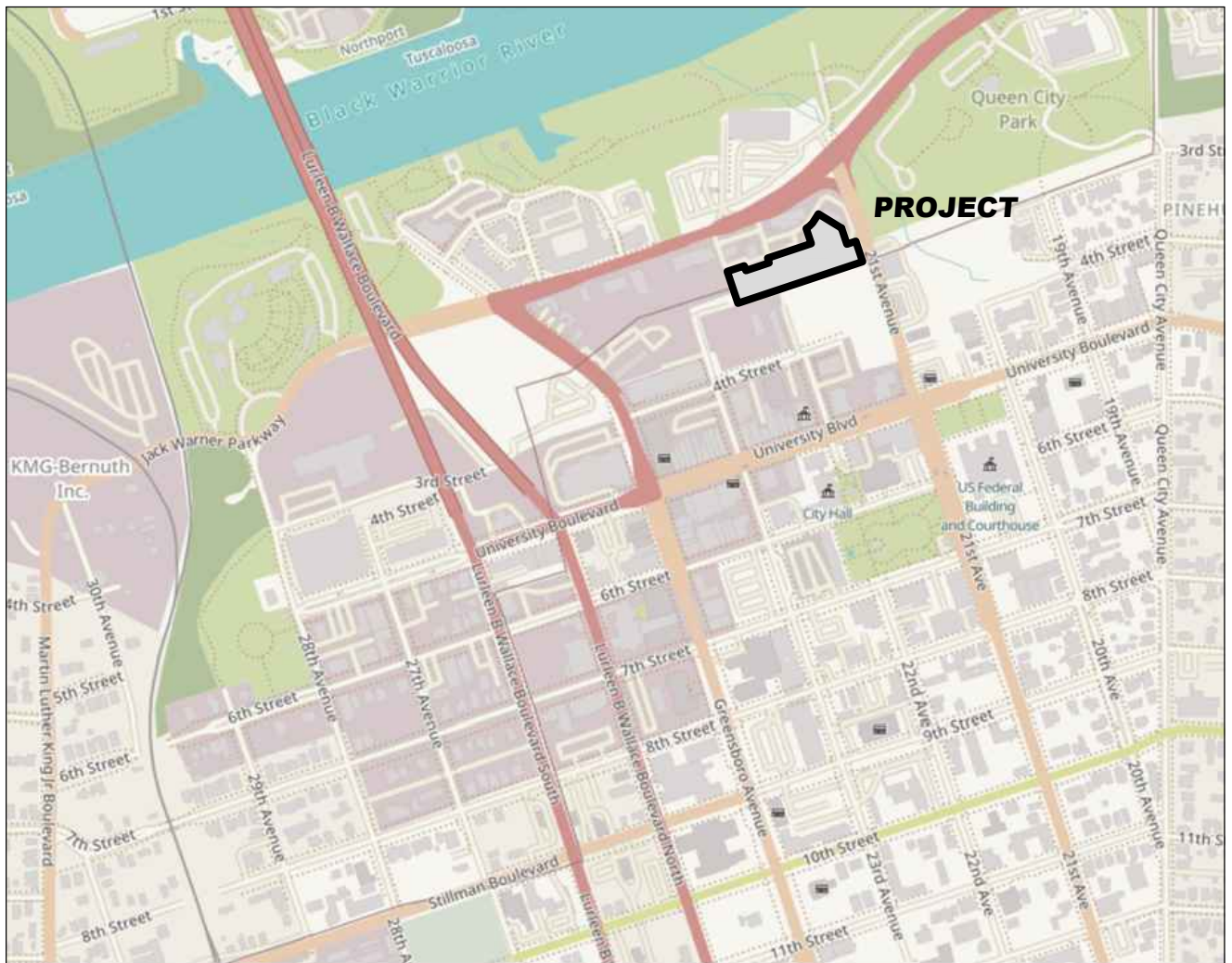
Baymont Hotels, Inc. plans to meet all the application requirements for the project. Contained in the application package are preliminary plans- including architectural renderings and photos, required for review. Deviations from the materials and designs noted in this application will be presented to the Tuscaloosa Planning and Development Department for their consideration prior to installation. All plans associated with this application package are attached.

If there are any questions or concerns, please contact me at [jwilliams@sentell.net](mailto:jwilliams@sentell.net) or 205-752-5564.

Sincerely,

**SENTELL ENGINEERING, INC.**

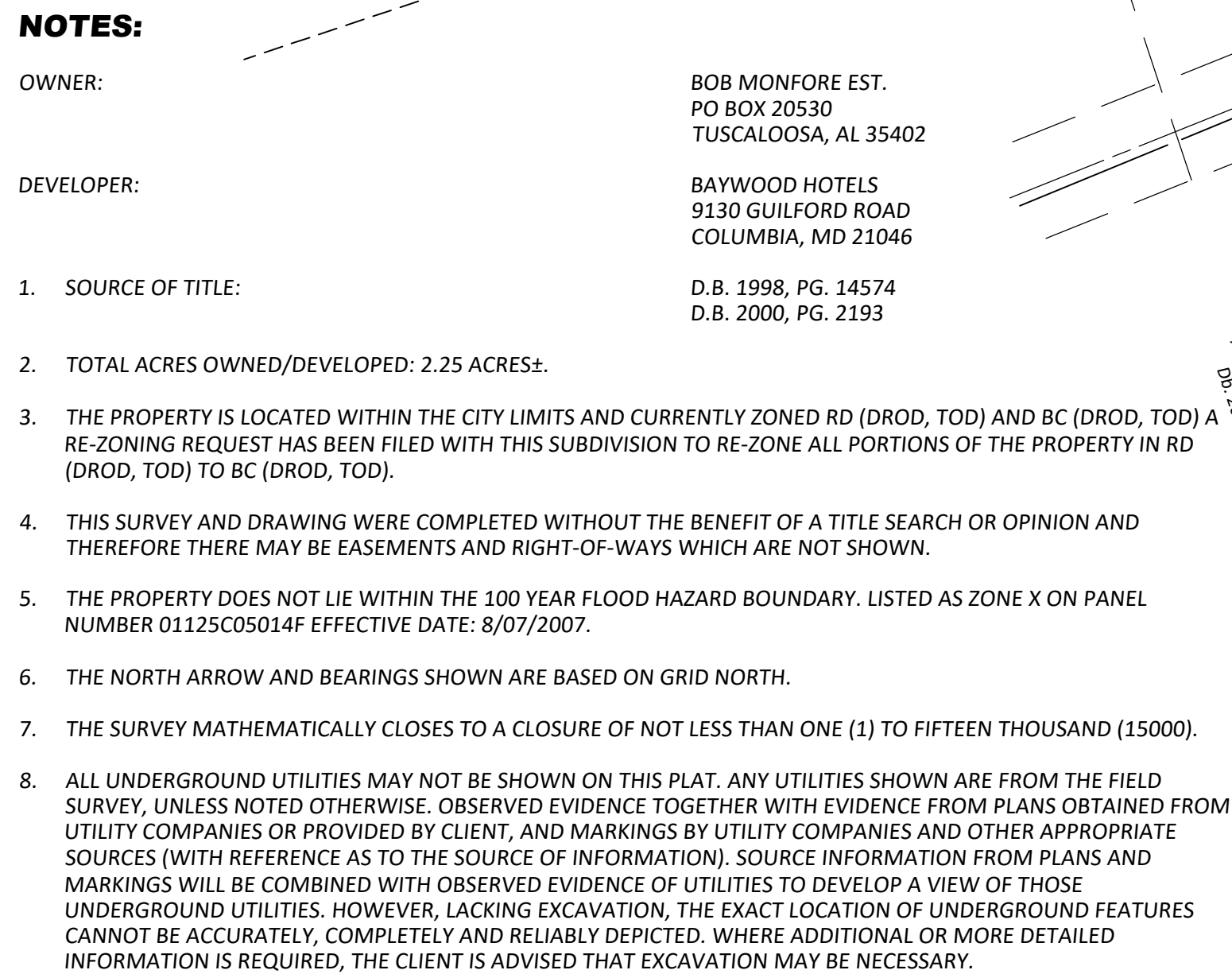
Joshua D. Bonner, P.E.



## VICINITY MAP







**ELEMENT SUBDIVISION**  
A RESURVEY OF LOTS 12, 13, & 16 RIVER MARGIN, PLAT BOOK 3, PAGE 54 AND LOT 3 OF  
THE RESURVEY OF OLD L & N RAILROAD RIGHT OF WAY, PLAT BOOK 2000, PAGE 9  
TUSCALOOSA COUNTY, ALABAMA

[illegible]



A RESURVEY OF LOTS 12, 13, & 16 RIVER MARGIN, PLAT BOOK 3, PAGE 54 AND LOT 3 OF THE RESURVEY OF OLD L & N RAILROAD RIGHT OF WAY, PLAT BOOK 2000, PAGE 9  
TUSCALOOSA COUNTY, ALABAMA

DESCRIPTION	
DATE:	
NO.	
DRAWN :	CGS
CHECKED :	GLS
DATE :	06/30/2020
JOB NO :	19-227
SHEET :	2 of 2

**21ST AVENUE**  
(99' PUBLIC R.O.W.)

208.66  
(208.66)

**ELEMENT HOTEL**

94 ROOMS (5 STORIES)

93 PARKING SPACES

A horizontal graphic scale bar with three segments. The first segment is labeled '0' at its left end. The second segment is labeled '30'' at its right end. The third segment is labeled '60'' at its right end. The segments are colored black, white, and black from left to right.



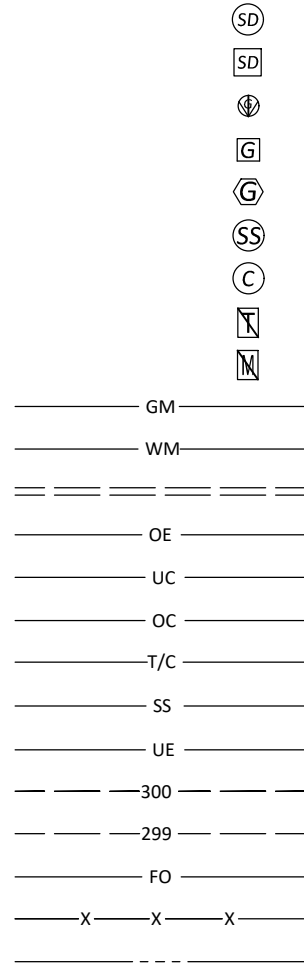
N:\2019\19-227 Baywood Hotel\19-227 preliminary site plan.dwg

NOTES:

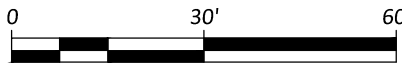
- OWNER: BOB MONFORE EST.  
PO BOX 20530  
TUSCALOOSA, AL 35402
- DEVELOPER: BAYWOOD HOTELS  
9130 GUILFORD ROAD  
COLUMBIA, MD 21046
1. SOURCE OF TITLE: D.B. 1998, PG. 14574  
D.B. 2000, PG. 2193
2. TOTAL ACRES OWNED/DEVELOPED: 2.25 ACRES±.
3. THE PROPERTY IS LOCATED WITHIN THE CITY LIMITS AND CURRENTLY ZONED RD (DROD, TOD) AND BC (DROD, TOD) A RE-ZONING REQUEST HAS BEEN FILED WITH THIS SUBDIVISION TO RE-ZONE ALL PORTIONS OF THE PROPERTY IN RD (DROD, TOD) TO BC (DROD, TOD).
4. THIS SURVEY AND DRAWING WERE COMPLETED WITHOUT THE BENEFIT OF A TITLE SEARCH OR OPINION AND THEREFORE THERE MAY BE EASEMENTS AND RIGHT-OF-WAYS WHICH ARE NOT SHOWN.
5. THE PROPERTY DOES NOT LIE WITHIN THE 100 YEAR FLOOD HAZARD BOUNDARY. LISTED AS ZONE X ON PANEL NUMBER 01125C05014F EFFECTIVE DATE: 8/07/2007.
6. THE NORTH ARROW AND BEARINGS SHOWN ARE BASED ON GRID NORTH.
7. THE SURVEY MATHEMATICALLY CLOSES TO A CLOSURE OF NOT LESS THAN ONE (1) TO FIFTEEN THOUSAND (15000).
8. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN ON THIS PLAT. ANY UTILITIES SHOWN ARE FROM THE FIELD SURVEY, UNLESS NOTED OTHERWISE. OBSERVED EVIDENCE TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM UTILITY COMPANIES OR PROVIDED BY CLIENT, AND MARKINGS BY UTILITY COMPANIES AND OTHER APPROPRIATE SOURCES (WITH REFERENCE AS TO THE SOURCE OF INFORMATION). SOURCE INFORMATION FROM PLANS AND MARKINGS WILL BE COMBINED WITH OBSERVED EVIDENCE OF UTILITIES TO DEVELOP A VIEW OF THOSE UNDERGROUND UTILITIES. HOWEVER, LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY.

LEGEND

- IRON PIPE/PIN FOUND (IPF)  
CAPPED PIPE/PIN SET (CPS)  
CAPPED PIPE/PIN FOUND (CPF)  
CONC. MONUMENT FOUND (CMF)  
POINT NOT MONUMENTED  
NORTH  
SOUTH  
EAST  
WEST  
RECORD BOOK - DEED AND/OR PLAT  
FRONT SETBACK LINE  
RIGHT OF WAY  
PLAT BOOK  
DEED BOOK  
PAGE  
EXISTING LIGHT POLE  
EXISTING GUY WIRE  
EXISTING POWER POLE  
EXISTING HVAC  
EXISTING WATER VALVE  
EXISTING WATER METER  
EXISTING FIRE HYDRANT  
EXISTING CLEANOUT
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- EXISTING STORM MANHOLE  
EXISTING YARD INLET  
EXISTING GAS REGULATOR  
EXISTING GAS METER  
EXISTING GAS VALVE  
EXISTING SANITARY SEWER MANHOLE  
EXISTING COMMUNICATION MANHOLE  
EXISTING COMMUNICATION BOX  
EXISTING MAILBOX  
EXISTING GAS MAIN  
EXISTING WATER MAIN  
EXISTING STORM SEWER  
EXISTING OVERHEAD ELECTRIC  
EXISTING BURRIED COMM.  
EXISTING OVER HEAD COMM.  
EXISTING BURRIED CABLE  
EXISTING SANITARY SEWER  
EXISTING BURRIED ELECTRIC  
EXISTING CONTOUR MAJOR  
EXISTING WATER MAIN  
EXISTING FIBER OPTICS  
EXISTING FENCE (TYPE)  
SECTION LINES



SITE PLAN



SITE PLAN

A PRELIMINARY SITE PLAN FOR PROPOSED ELEMENT HOTEL BY WESTIN FOR BAYWOOD HOTELS, INC.  
21ST AVE TUSCALOOSA, ALABAMA 35401





## FRONT ANGLE VIEW

NOT TO SCALE



**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020

NOTE THAT SITE GRADING AND RETAINING WALL LOCATIONS & HEIGHTS  
ARE SCHEMATICALLY INDICATED. A REFINED RENDERING CAN BE PROVIDED UPON  
COMPLETION OF CIVIL ENGINEERING CONSTRUCTION DOCUMENTS





## ENTRANCE ELEVATION

NOT TO SCALE



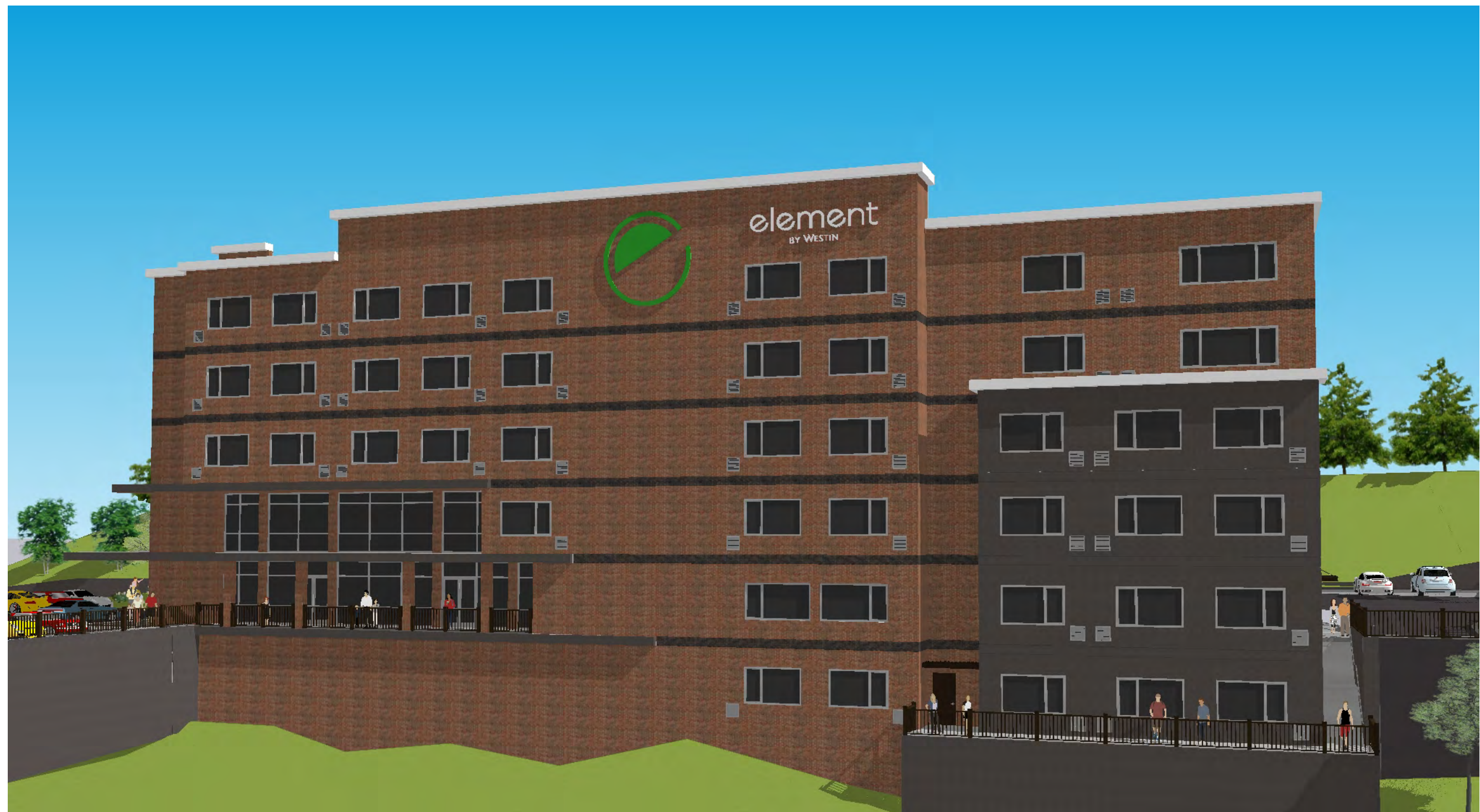
**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020

NOTE THAT SITE GRADING AND RETAINING WALL LOCATIONS & HEIGHTS  
ARE SCHEMATICALLY INDICATED. A REFINED RENDERING CAN BE PROVIDED UPON  
COMPLETION OF CIVIL ENGINEERING CONSTRUCTION DOCUMENTS





## REAR ELEVATION

NOT TO SCALE



NOTE THAT SITE GRADING AND RETAINING WALL LOCATIONS & HEIGHTS  
ARE SCHEMATICALLY INDICATED. A REFINED RENDERING CAN BE PROVIDED UPON  
COMPLETION OF CIVIL ENGINEERING CONSTRUCTION DOCUMENTS

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Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020





# PARKING SIDE ELEVATION

NOT TO SCALE



NOTE THAT SITE GRADING AND RETAINING WALL LOCATIONS & HEIGHTS ARE SCHEMATICALLY INDICATED. A REFINED RENDERING CAN BE PROVIDED UPON COMPLETION OF CIVIL ENGINEERING CONSTRUCTION DOCUMENTS

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101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020





# FRONT ELEVATION

NOT TO SCALE



**Leonard Design**

101 1st Ave. NE  
Suite 140  
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256.739.8020

July 11, 2020

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ARE SCHEMATICALLY INDICATED. A REFINED RENDERING CAN BE PROVIDED UPON  
COMPLETION OF CIVIL ENGINEERING CONSTRUCTION DOCUMENTS





BAR AREA



LOUNGE AREA



RESTORE



ENTRY/RECEPTION



ELEVATOR LOBBY



RISE







STUDIO COMMONS



STUDIO COMMONS



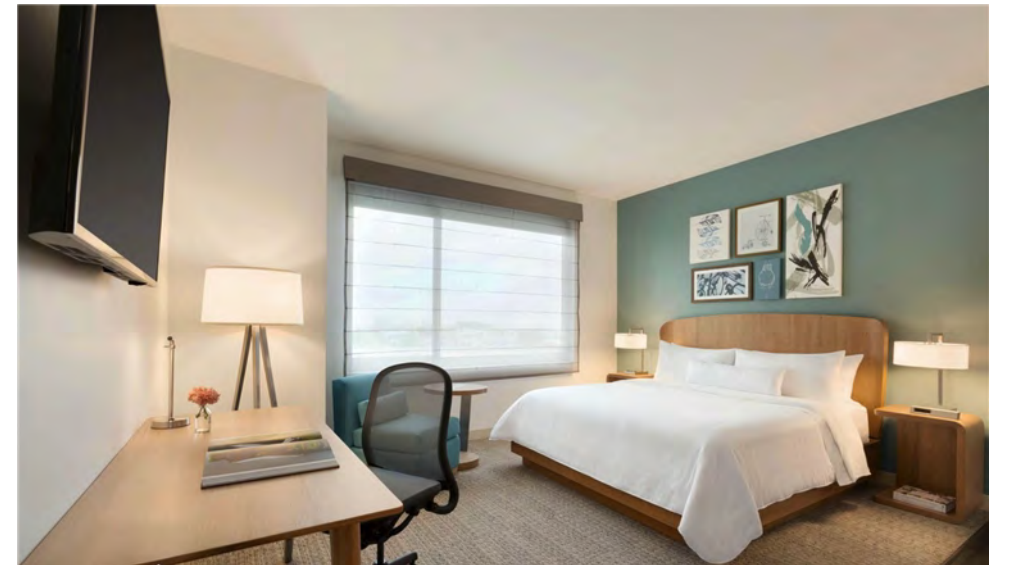
STUDIO COMMONS



Studio Queen/Queen



Studio King

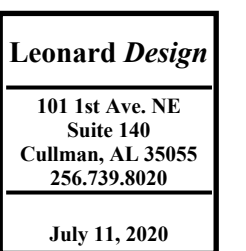


GUESTROOM

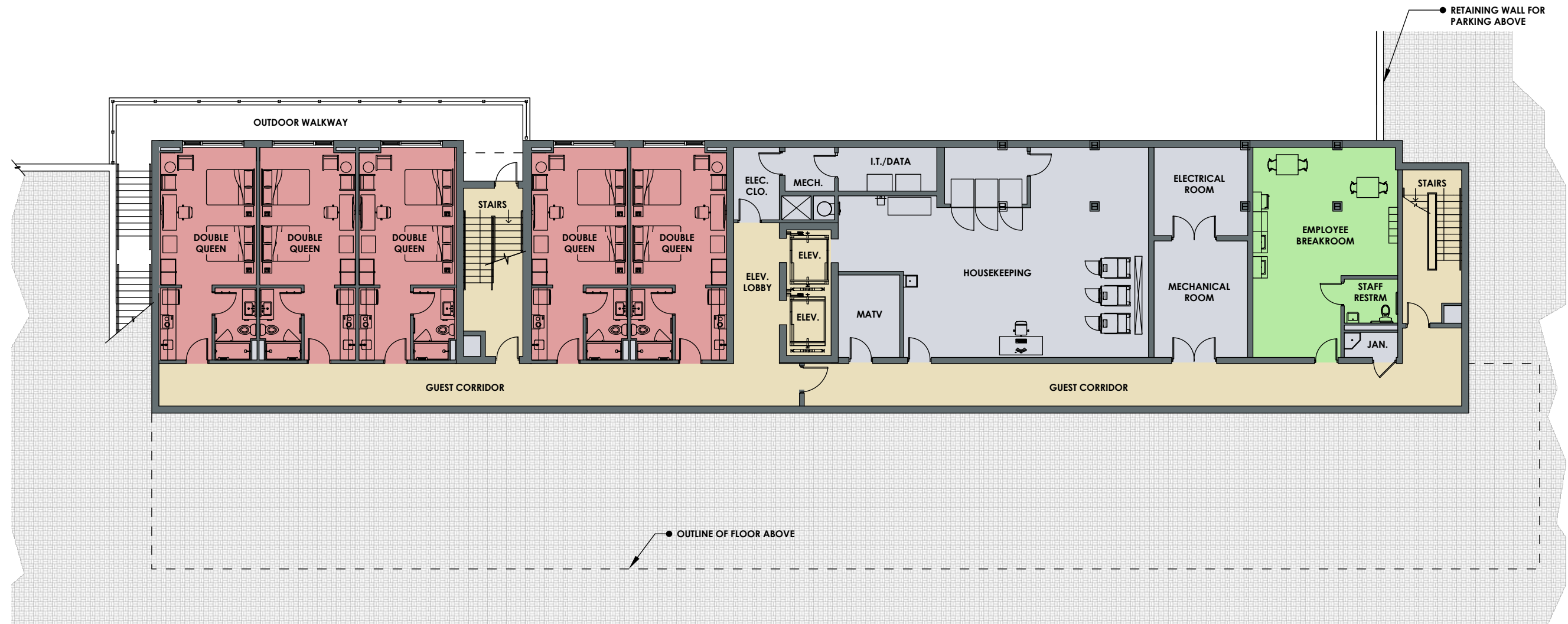


STUDIO QUEEN/QUEEN

STUDIO KING







## BASEMENT PLAN

05 GUESTROOMS

SCALE : 1/16" = 1' - 0"

7,077 SF

### COLOR CODE LEGEND

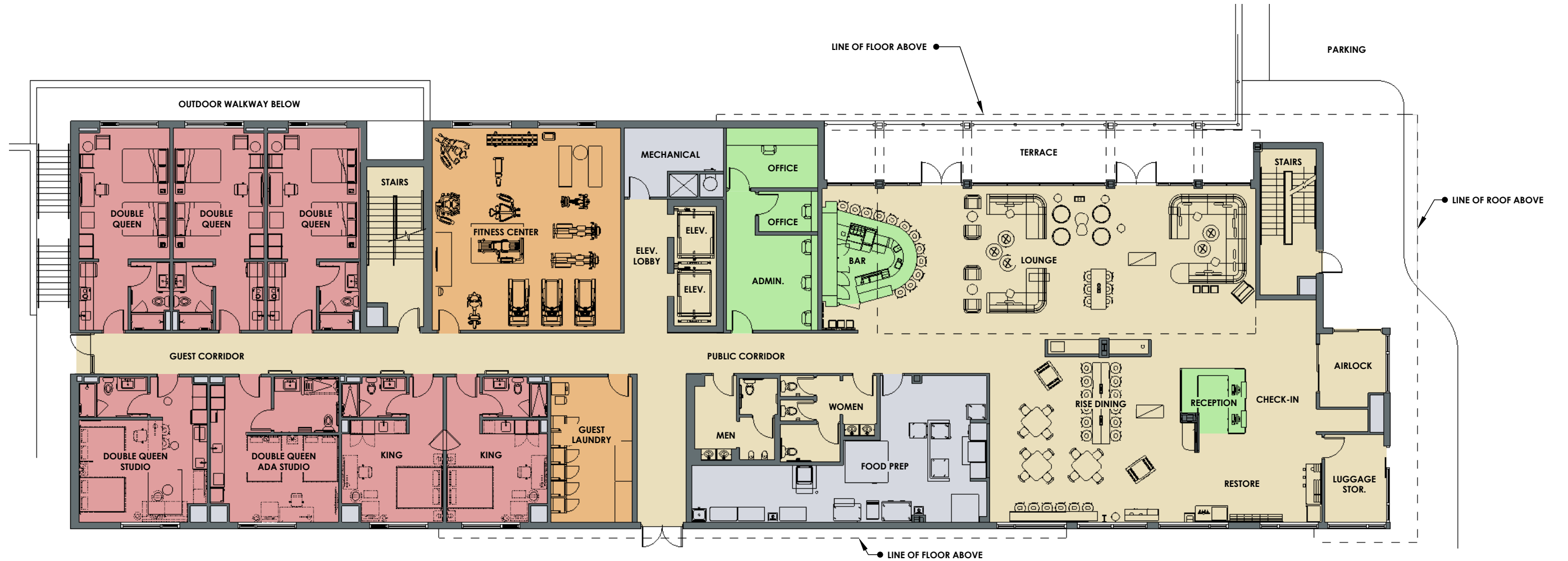
	PUBLIC SPACES
	GUEST ROOMS
	GUEST ACCESS SPACES
	HOTEL OFFICE SPACES
	HOTEL STAFF WORK SPACES



**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020



## FIRST FLOOR PLAN

07 GUESTROOMS

SCALE : 1/16" = 1' - 0"

10,908 SF

### COLOR CODE LEGEND

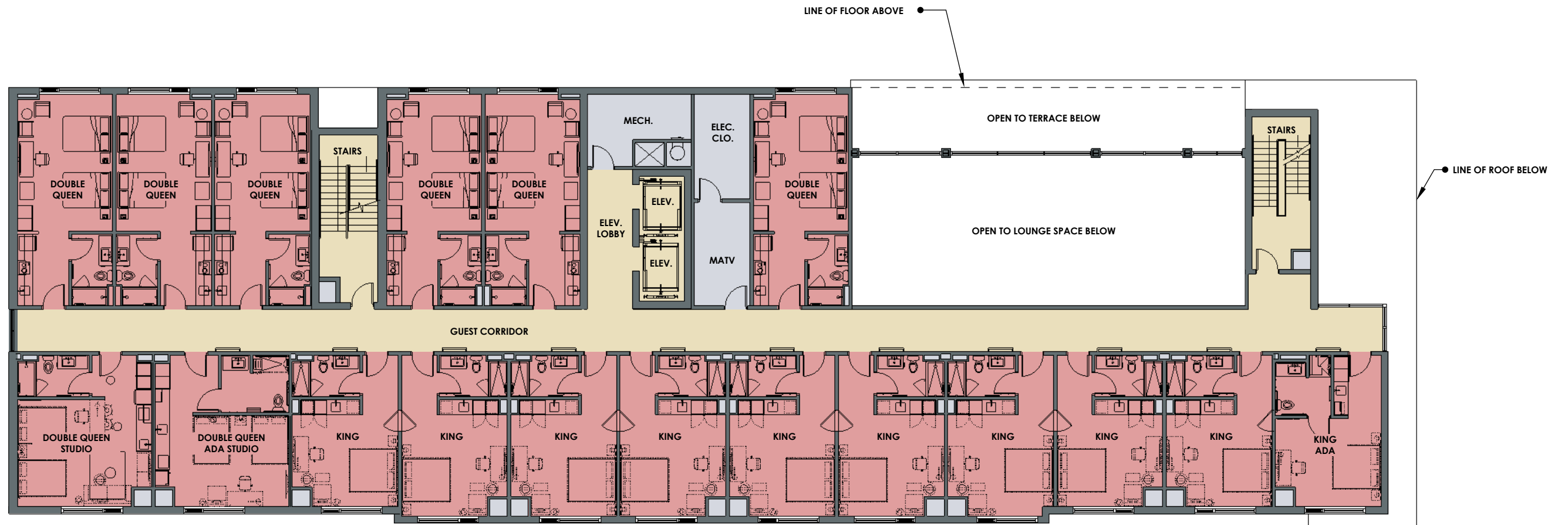
	PUBLIC SPACES
	GUEST ROOMS
	GUEST ACCESS SPACES
	HOTEL OFFICE SPACES
	HOTEL STAFF WORK SPACES



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July 11, 2020



## SECOND FLOOR PLAN

18 GUESTROOMS

SCALE : 1/16" = 1' - 0"

9,856 SF

### COLOR CODE LEGEND

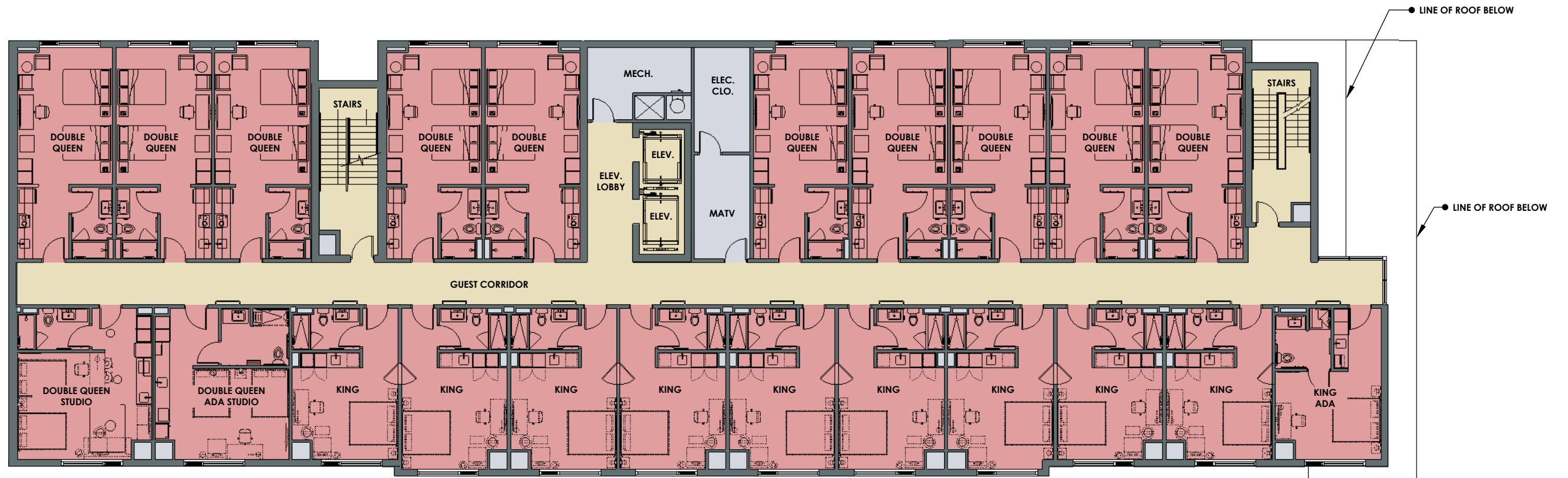
	PUBLIC SPACES
	GUEST ROOMS
	GUEST ACCESS SPACES
	HOTEL OFFICE SPACES
	HOTEL STAFF WORK SPACES



**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020



### THIRD FLOOR PLAN

22 GUESTROOMS

SCALE : 1/16" = 1' - 0"

11,587 SF

#### COLOR CODE LEGEND

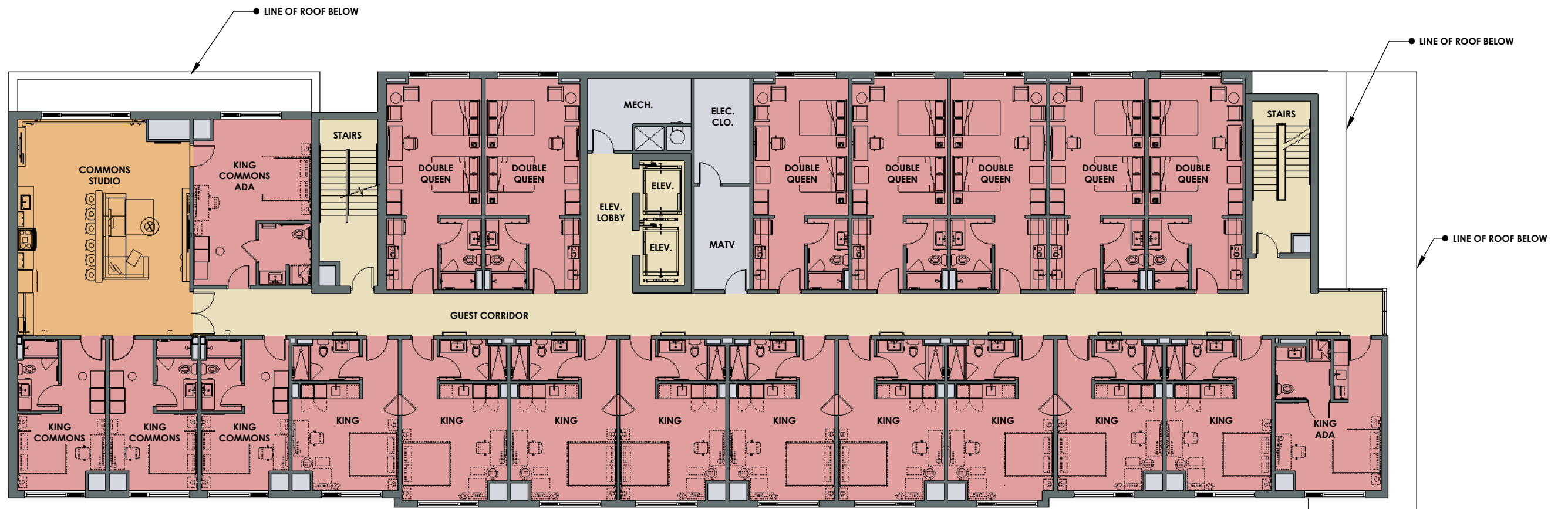
<span style="display:inline-block; width:20px; height:10px; background-color:yellow; border:1px solid black;"></span>	PUBLIC SPACES
<span style="display:inline-block; width:20px; height:10px; background-color:lightcoral; border:1px solid black;"></span>	GUEST ROOMS
<span style="display:inline-block; width:20px; height:10px; background-color:orange; border:1px solid black;"></span>	GUEST ACCESS SPACES
<span style="display:inline-block; width:20px; height:10px; background-color:lightgreen; border:1px solid black;"></span>	HOTEL OFFICE SPACES
<span style="display:inline-block; width:20px; height:10px; background-color:lightblue; border:1px solid black;"></span>	HOTEL STAFF WORK SPACES



**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020



## FOURTH FLOOR PLAN

21 GUESTROOMS

SCALE : 1/16" = 1' - 0"

11,334 SF

### COLOR CODE LEGEND

<span style="display:inline-block; width:15px; height:15px; background-color:yellow; border:1px solid black;"></span>	PUBLIC SPACES
<span style="display:inline-block; width:15px; height:15px; background-color:lightcoral; border:1px solid black;"></span>	GUEST ROOMS
<span style="display:inline-block; width:15px; height:15px; background-color:orange; border:1px solid black;"></span>	GUEST ACCESS SPACES
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen; border:1px solid black;"></span>	HOTEL OFFICE SPACES
<span style="display:inline-block; width:15px; height:15px; background-color:lightblue; border:1px solid black;"></span>	HOTEL STAFF WORK SPACES



**Leonard Design**

101 1st Ave. NE  
Suite 140  
Cullman, AL 35055  
256.739.8020

July 11, 2020







TUSCALOOSA

D/R OVERLAY DISTRICT PERMIT APPLICATION

Please complete all of the following required fields:

**Property**

Address of premises affected: 21st Avenue Tuscaloosa, AL 35401

**Owner**

Name: Robert W. Monfore Estate Phone: \_\_\_\_\_ Email: \_\_\_\_\_

Address: PO 20530 Tuscaloosa, AL 35402

**Applicant (if different from owner)**

Name: Paul Williams - Baywood Hotels Phone: (301) 345-8700 Email: paul.williams@baywoodhotels.com

**Contractor or Architect**

Name: Joe Williams Phone: 205-335-8615 Email: jwilliams@sentell.net

**Certification of Applicant**

An application shall not be considered "accepted" until the zoning officer determines that the application is complete. The application shall include the following information, unless waived by the Zoning Officer:

- 1) A narrative describing the overall concept of the proposed development and how it is consistent with the D/R Overlay District standards and guidelines, and compatible with existing and proposed land uses. A full list of the development standards and guidelines can be found within the Development standards and Guidelines (Sec 24-230 (b)) chapter of the city municipal code.
- 2) A site plan, at a scale of not smaller than one (1) inch equals sixty (60) feet showing the proposed layout of buildings and/or premises in the context with the property lines, setbacks, adjacent structures, streets, walkways, vehicular ingress and egress, service alleys, and loading spaces.
- 3) If a building, elevations of all sides of the proposed building indicating proposed exterior finishes, square footage, height and number of stories. Architectural renderings may be submitted as well.
- 4) Sketch of exterior premises including parking, landscaping, fencing or walls, signage, streetscape, lighting type, and other aspects as may be necessary to fully present the proposed development.
- 5) If residential development, the number of units, unit square footages, approximate sale value or rental rates, description of any covenants and restrictions, and a description of proposed ownership and management of any common open space not dedicated to public ownership.

I hereby certify that I have read and understand this application and know the same to be true and correct. I understand that consideration of this application is based upon the correctness of the information I have supplied and that any permit(s) granted may be revoked upon finding by Urban Development that any relevant information supplied on or with application is substantially incorrect. I further understand that only complete applications including all required exhibits and fees are considered by Urban Development.

☒ I HAVE REVIEWED & AGREE TO ALL SUBMITTAL REQUIREMENTS ON THE FRONT & BACK OF THIS APPLICATION

Applicant: Robert W. Monfore, Representative Date: 9/17/2020

September 16, 2020

**City of Tuscaloosa**

Planning Department

Attn: Will Smith

2201 University Boulevard

Tuscaloosa, AL 35401

**RE: Proposed ELEMENT Hotel by Westin on 21<sup>st</sup> Avenue  
DROD Permit Application Project Narrative**

Project Name: ELEMENT Hotel by Westin; Baywood Hotels, Inc.

Project Address: 21<sup>st</sup> Avenue, Tuscaloosa, AL, 35401

Project Narrative:

**Project Overview**

Baywood Hotels, Inc. proposes the development of a unique hotel project in Downtown Tuscaloosa. A part of the Westin Portfolio, The Element is a Lifestyle Brand with a focus on healthy eating, green building and environmentally conscious living. Part of the way the brand delivers this to a guest is by providing a small kitchenette that allows guests to control their diet and meals while complementing the offering from the hotel in the breakfast area and the bar. For instance, the guest who has a strict diet and regimen has the ability to make their meals their way while traveling, etc. The typical length of stay at this hotel brand is between two and ten days. Element® is a modern design, eco-conscious practices and an innovative guest experience that resonates with today's traveler. Element offers comfort with conscience and thoughtful signature amenities, from its complimentary healthy Rise breakfast and Relax evening reception, to 24/7 Motion Fitness centers, electric vehicle charging stations, and Element's Bikes to Borrow program. Spacious guest rooms featuring spa-inspired bathrooms create space for guests to live their lives. Element is a smarter, better place to stay.

**Location**

The project site is located along 21st Avenue near the intersection of Jack Warner Parkway. The property is bound by 21<sup>st</sup> Avenue to the east, and to the south by property owned by First Paramount, LLC, where a proposed multi-story mixed used development has received preliminary approval from the Planning and Zoning Commission (PZC). Also along the southern property line and a portion of the western property line is an Alabama Power substation and related buildings. To the northwest, Crimson Hospitality, LLC. just completed construction of a Comfort Inn and Suites. River Bluff Office Park is located on the northside of the property.



### **Enhancing the Riverfront District - Design**

The Owner and Architect have made it a priority to match the design of this new, upscale, hotel with the standards and guidelines outlined in Section 24-230 of the Tuscaloosa Municipal Code. The design will include 94 hotel rooms in a brick veneered, five-story building that will include a basement. The basement floor will house hotel operations and 5 guest rooms. The first floor will include a dining area, reception lobby, fitness center, common drinking area offering light hors d'oeuvres, and office space for hotel management. Floors 2 through 5 will house guest rooms. The design of the ELEMENT Hotel provides substantial conformity to the standards & guidelines outlined for the Downtown/Riverfront Overlay District, some of which are detailed below:

- I. Divide building wall facades into increments through separation or breaks in materials, window bays, separate entrances or entry treatments, or variations in roof lines
- II. Design galleries and balconies, when provided, as an integral part of the building's facade improvements.
- III. Building lighting fixtures shall be designed to direct lumens toward the inward boundaries of the property.
- IV. Provide lighting that illuminates facades, entrances, and signage to enhance the aesthetic appeal of the building.
- V. Design paving, lighting fixtures, fences/walls, curbs, benches and signs appropriate for their location, easily maintained and indicative of their function.

### **Interested Parties**

The land is currently owned by the estate of Robert Monfore, but purchase of it by Baymont Hotels, Inc. is contingent upon the approval of the DROD and Rezoning applications for the proposed project.

### **Proposed Application Process**

Baymont Hotels, Inc. plans to meet all the application requirements for the project. Contained in the application package are preliminary plans- including architectural renderings and photos, required for review. Deviations from the materials and designs noted in this application will be presented to the Tuscaloosa Planning and Development Department for their consideration prior to installation. All plans associated with this application package are attached.

If there are any questions or concerns, please contact me at [jwilliams@sentell.net](mailto:jwilliams@sentell.net) or 205-752-5564.

Sincerely,

**SENTELL ENGINEERING, INC.**



Christopher G. Sentell, PLS